

020.A

Map

0004

Block

0410.0

Lot

1 of 1

Condominium

CARD

ARLINGTON

APPRaised: 436,800 /

USE VALUE: 436,800 /

ASSESSed: 436,800 /

Total Card /

Total Parcel

436,800

436,800

436,800

PROPERTY LOCATION

IN PROCESS APPRAISAL SUMMARY

No

Alt No

Direction/Street/City

34

HAMILTON RD, ARLINGTON

Unit #:

410

Owner 1: DOLHARE VISHAKHA

Owner 2:

Owner 3:

Street 1: 88 LEWIS RD

Street 2:

Twn/City: BELMONT

St/Prov: MA

Cntry

Own Occ: N

Postal: 02478

Type:

Use Code

Land Size

Building Value

Yard Items

Land Value

Total Value

102

0.000

436,800

436,800

Total Card

0.000

436,800

436,800

Total Parcel

0.000

436,800

436,800

Source: Market Adj Cost

Total Value per SQ unit /Card: 455.95

/Parcel: 455.95

Legal Description

User Acct

GIS Ref

GIS Ref

Entered Lot Size

Total Land:

Land Unit Type:

145916

Insp Date

12/14/17

!1805!

PREVIOUS OWNER

PREVIOUS ASSESSMENT

Owner 1: ROBERTS CHRISTINA -

Owner 2: -

Street 1: 34 HAMILTON ROAD UNIT 410

Twn/City: ARLINGTON

St/Prov: MA

Cntry

Postal: 02476

Tax Yr

Use

Cat

Bldg Value

Yrd Items

Land Size

Land Value

Total Value

Asses'd Value

Notes

Date

2022

102

FV

436,800

0

.

436,800

Year end

12/23/2021

2021

102

FV

423,600

0

.

423,600

Year End Roll

12/10/2020

2020

102

FV

411,500

0

.

411,500

411,500

Year End Roll

12/18/2019

2019

102

FV

337,100

0

.

337,100

337,100

Year End Roll

1/3/2019

2018

102

FV

301,900

0

.

301,900

301,900

Year End Roll

12/20/2017

2017

102

FV

280,900

0

.

280,900

280,900

Year End Roll

1/3/2017

2016

102

FV

280,900

0

.

280,900

280,900

Year End

1/4/2016

2015

102

FV

263,700

0

.

263,700

263,700

Year End Roll

12/11/2014

SALES INFORMATION

TAX DISTRICT

PAT ACCT.

Grantor

Legal Ref

Type

Date

Sale Code

Sale Price

V

Tst

Verif

Notes

ROBERTS CHRISTI

71887-525

2

11/15/2018

470,000

No

No

CARLSON WILLIAM

62379-139

8/2/2013

300,000

No

No

CARLSON WILLIAM

43179-465

6/30/2004

Family

1

No

No

IZEN MELVIN & S

32842-551

5/11/2001

225,000

No

No

IZEN MELVIN/ETA

24726-480

7/25/1994

99

No

No

A

BUILDING PERMITS

ACTIVITY INFORMATION

Date

Number

Descrip

Amount

C/O

Last Visit

Fed Code

F. Descrip

Comment

8/14/2002

668

Redo Kit

5,000

O

G4

GR FY04

Date

Result

By

Name

9/9/2021

USPS

JO

Jenny O

8/26/2021

USPS

JO

Jenny O

8/16/2019

Mail Update

JO

Jenny O

12/14/2017

Measured

DGM

D Mann

5/6/2000

197

PATRIOT

Sign:

VERIFICATION OF VISIT NOT DATA

___/___/___

LAND SECTION (First 7 lines only)

PROPERTY FACTORS

Use Code

Description

LUC Fact

No of Units

Depth / PriceUnits

Unit Type

Land Type

LT Factor

Base Value

Unit Price

Adj

Neigh

Neigh Infl

Neigh Mod

Infl 1

%

Infl 2

%

Infl 3

%

Appraised Value

Alt Class

%

Spec Land

J Code

Fact

Use Value

Notes

102

Condo

0

Sq. Ft.

Site

0

0.

0.00

6049

Total AC/HA: 0.00000

Total SF/SM: 0

Parcel LUC: 102

Condo

Prime NB Desc

CONDO

Total:

Spl Credit

Total:

Disclaimer: This Information is believed to be correct but is subject to change and is not warranted.

Database: AssessPro - ArchiveProArling

aprob

2023

